

SECTION 01200

CONSTRUCTION ADMINISTRATION

1.01 DIVISION OF RESPONSIBILITIES TERMINOLOGY: **NOT USED**

1.02 CONSTRUCTION DOCUMENTS AT THE JOBSITE: The Contractor shall keep a set of Drawings, the Project Manual, Addenda and Construction Change Bulletins, and copies of all approved submittals at the Jobsite for reference throughout the Construction Duration.

1.03 CONTRACTOR'S CONSTRUCTION PROGRESS SCHEDULE:

- A. The PETCO-approved Construction Progress Schedule will be an integral part of the project record, and shall establish completion dates for critical path tasks and other non-critical path construction tasks.
- B. The Contractor's Construction Progress Schedule shall graphically show, preferably by Gantt Chart format, the order and interdependence of all major construction tasks necessary to complete the work, and the sequence in which each activity is to be accomplished. The Construction Progress Schedule shall include, but not necessarily be limited to the following:
 - 1. PETCO Tenant Space Construction Date of Commencement
 - 2. Scheduled submission of required Submittals to the Architect
 - 3. Work integration of major sub-trades.
 - 4. Optimum delivery dates of PETCO-Furnished Items to the jobsite (dates may be agreed and furnished by the PETCO Project Manager).
 - 5. Date of PETCO Tenant Space Substantial Completion
 - 6. Final inspection, testing, and final cleanup
 - 7. Date of PETCO Tenant Space Final Completion.
 - 8. Submission of Closeout Documents to PETCO
 - 9. Last Date of Change Order Request submission to PETCO.
- C. An updated, revised Construction Progress Schedule shall be submitted to the PETCO Project Manager with each Application for Payment.

1.04 CONTRACTOR'S JOBSITE OFFICE:

- A. Contractor's Jobsite Office: Unless otherwise agreed with the PETCO Project Manager, the Contractor shall provide and maintain a weather-tight, freestanding jobsite trailer for the use by the Contractor, subcontractors and the PETCO Project Manager. Subcontractors may furnish their own similar storage facilities, if required
- B. Alternative Contractor's Jobsite Office (Renovation): This renovation project might permit the use of enclosed existing areas adjacent to the limits of construction for the PETCO project. However, the use of such space as the Contractor's jobsite office shall be only as specifically permitted by the PETCO Project Manager or Landlord, in lieu of a freestanding jobsite construction trailer.
 - 1. The PETCO Project Manager is not obligated to coordinate the use of any enclosed existing area adjacent to the limits of construction with the Landlord. The Contractor is solely responsible for coordinating availability and access to such space, and the cost for use of such space shall be a part of the Base Bid.
 - 2. The Contractor shall not use existing area within the limits of construction for the Contractor's Jobsite Office.

- C. The Contractor shall keep a set of Drawings, the Project Manual, Addenda and Construction Bulletins, copies of all approved submittals, and a current, updated Construction Schedule in the Jobsite Office.
- D. The Contractor's Jobsite Office shall be removed from the jobsite no later than the Date of Final Completion, except as may be otherwise directed or approved by the PETCO Project Manager.

1.05 CONTRACTOR'S ON-SITE TELEPHONE, FAX MACHINE AND E-MAIL:

- A. Contractor's On-Site Telephone: The Contractor shall install and maintain an On-Site Telephone complete with Answering Machine or Answering Service. The Contractor shall maintain all telephone and answering functions in working condition at ALL times of the day for the Construction Duration.
- B. Contractor's FAX Machine: The Contractor shall install a fax machine with a separate telephone incoming telephone number and maintain the FAX machine in working condition, at all times, for the Construction Duration. The incoming FAX line must be set to receive FAX transmission at ALL times of the day for the Construction Duration.
- C. Contractor's On-Site E-Mail: The Contractor shall install and maintain a secured, On-Site E-Mail System to send and receive e-mail. The Contractor shall maintain e-mail and telephone functions in working condition for the Construction Duration.
- D. The Contractor's Telephone and FAX machine may be removed from the jobsite after the Date of Substantial Completion, but in any event no later than the Date of Final Completion, except as may be otherwise directed by the PETCO Project Manager.

1.06 CONTRACTOR'S "CONSTRUCTION PHASE REQUEST FOR INFORMATION (RFI)" FORM:

- A. The Contractor may request clarifications for information contained in the Construction Drawings or the Project Manual from the Architect, via use of the "Construction Phase Request for Information" form (aka "RFI Form") that follows this Project Manual Section. The Contractor is encouraged to provide a "Proposed Solution" as part of the RFI Form, using supplementary sketches as may be necessary to convey the Contractor's proposed solution adequately to the Architect.
- B. The RFI form is available for e-mail use and electronic editing (MSWord format), and will be provided via e-mail by the Project Architect if requested.
- C. The Architect will review and respond to RFIs prepared by the Contractor's Project Manager or the Contractor's Project Superintendent ONLY. Subcontractors' requests for information will be addressed ONLY when prepared by the Contractor's Project Manager or Contractor's Project Superintendent.
- D. Architect Sub-Consultants: The Contractor shall NOT contact any Architect's Sub-Consultants (e.g. Structural Engineer, Mechanical/ Electrical Engineer, etc.) directly, either by telephone, FAX or by fax RFI Form. ALL communication with the Architect's consultants MUST be with the direct involvement of the Architect.
- E. The Architect's response to an RFI is NOT an authorization to proceed with extra work. The Contractor shall NOT proceed with "additional" or "extra work" without authorization from the PETCO Project Manager. Any work initiated by the Contractor without prior approval by the PETCO Project Manager may be considered by PETCO to be at the Contractor's risk and possibly at the Contractor's expense.

1.07 CONTRACTOR'S "CONSTRUCTION 'RFI' TRACKING REPORT" FORM:

- A. The Contractor shall track the status of submitted, resolved and un-resolved Requests For Information, via use of the "Contractor's RFI Tracking Report" Form that follows this Project Manual Section
- B. The Contractor shall submit an updated "Contractor's RFI Tracking Report" Form to the PETCO Project Manager on a periodic, regular basis, with frequency to be coordinated with the PETCO Project Manager
- C. The "Contractor's RFI Tracking Report" form is available for e-mail use and electronic editing (in MSWord format), and can be provided to the Contractor via e-mail by the Project Architect, if requested.

1.08 CONTRACTOR'S CONSTRUCTION PROGRESS WEEKLY MEETINGS:

- A. Attendance: The Contractor's designated representatives, including the Contractor's Project Manager, Contractor's On-Site Project Superintendent and major subcontractors' representatives, should attend the Contractor's Construction Progress Weekly Meetings
- B. Weekly Meeting Agenda: The Construction Progress Meeting agenda should include, but not be limited to discussion and review of the following items:
 - 1. Review of the previous Construction Progress Meeting Report, with specific attention to clarifications and/or corrective resolutions.
 - 2. Review of the Construction Progress Schedule, including a thorough review of the sequence of critical path items.
 - 3. Review of Construction Activities such as:
 - a. Major material deliveries and/or delays; purchase orders issued
 - b. Work started, work completed and work in progress.
 - c. Labor and other problems, their apparent causes, proposed solutions, who must act to effect a determination, and their impact on the Construction Progress Schedule.
 - d. Accident reports, including persons involved and circumstances of the accident.
 - e. Resolved/ unresolved status of Contractor RFIs to the Architect, and status of Construction Bulletins (if any) issued by the Architect.
 - f. Coordination of PETCO Vendor-furnished items.
- C. Meeting Reports: The Contractor shall furnish a copy of the written Construction Progress Meeting report to the PETCO Project Manager

1.09 CONTRACTOR'S WEEKLY CONSTRUCTION PROGRESS PHOTOGRAPHS:

- A. Starting one week after the Date of Tenant Space Construction Commencement, and then every Friday of each week thereafter, the Contractor shall send Digital Construction Progress Photographs to the PETCO Project Manager
- B. Digital Photographs Format: A minimum of twenty-four (24) Digital Construction Progress Photographs shall be sent on a weekly basis, each Friday, to the PETCO Project Manager. Photographs shall show, in summary, the progress of construction work. A descriptive Narrative should be included in the e-mail, where appropriate.
- C. Digital Photographs shall be sent via email, with the Project Name identified in the email cover description, to the following e-mail address.

Clay Early at e-mail address: clay.earley@petco.com

- D. Alternative to Digital Photographs: Subject to acceptance by the PETCO Project Manager, the Contractor shall prepare and send a minimum of twenty-four (24) color 4"x6" photographs each week, with the subject matter comprehensively representing the general progress of the work completed to date, with each photograph labeled on the reverse in permanent ink, without damaging the print side, "PETCO Cary, NC/PETCO PM Job #09277", the Date that photographs were taken, and keyed to an attached Descriptive Narrative.
- E. All photographs shall be in focus and with minimum distortion. Select locations to provide diversified overall views and close-up views of the work, from positions that are expected to remain accessible throughout the progress of the work.

1.10 CONTRACTOR'S SECURED STORAGE AND MATERIALS STAGING:

- A. The Contractor shall include in the Base Bid all provisions for unloading, receiving, inventorying and secured storage of PETCO's Vendor-Furnished Items which are either installed by PETCO's Vendor(s), or installed by PETCO's Contractor as otherwise described in other Project Manual Sections. Unless other means are utilized, subject to the approval of the PETCO Project Manager, the Contractor shall provide and maintain a weathertight, freestanding trailer for Secured Storage and Staging of PETCO Vendor-Furnished Items.
 - 1. The Contractor shall furnish Vendor Lists of Goods indicating delivery and acceptance of PETCO Vendor-Furnished Items at the PETCO Project Manager's request
 - 2. The Contractor may coordinate the scheduled delivery of PETCO Vendor-Furnished Items with the PETCO Project Manager.
 - 3. Vendor List of Goods shall be retained for the Contractor's follow-up walkthrough inspection with the PETCO District Manager per Section 01700-Contract Closeout.
- B. This renovation project might permit the use of enclosed existing space adjacent to the limits of construction for the PETCO project for secured storage and staging. However, the use of such space shall be only as specifically permitted by the PETCO Project Manager or the Landlord in lieu of a freestanding secured storage trailer.
 - 1. The PETCO Project Manager is not obligated to coordinate the use of any enclosed existing interior space adjacent to the limits of construction with the Landlord. The Contractor is solely responsible for coordinating availability and access to such space, and the cost for use of existing adjacent interior space shall be included in the Base Bid
 - 2. The Contractor shall NOT use existing areas within the limits of construction for Secured Storage and Staging unless permitted by the PETCO Project Manager.
- C. The Contractor is responsible for verifying the condition of the shopping containers as received; and shall verify that the List of Goods 'shipped' corresponds with the actual goods 'received'. Refer to Section 10300- PETCO-Furnished & Contractor-Provided Items for additional description of Contractor responsibilities for Contractor's Receipt of PETCO Vendor-furnished items to the Jobsite.

1.11 CONTRACT CLOSEOUT: Refer to Section 01700- Contract Closeout for details of the following

- A. Local Jurisdiction Closeout Documents.
- B. Final Certificate Of Occupancy.
- C. Contractor's Written Request For Punchlist Inspection.
- D. Construction Punchlist Inspection.
- E. Contractor's Written Notice Of Punchlist Completion.
- F. Contractor's Notice of Change Order Request Status

- G. Spare Parts, Maintenance And Extra Materials.
 - H. Verification Of Vendor Lists Of Goods Received with PETCO District Manager.
 - I. Project Record Construction Documents
 - J. Building Maintenance Manuals.
 - K. Final Application for Payment.
 - L. Last date for submission of Change Order Requests
- 1.12 PUNCHLIST INSPECTION: The PETCO Project Manager will visit the project site on or about the Date of Substantial Completion, and will prepare a Project Punchlist of incomplete or deficient work that must be completed by the Contractor prior to the Date of Final Completion.
- 1.13 WARRANTY PUNCHLIST INSPECTION: The PETCO Project Manager will visit the project site on or about eleven months after the Date of Substantial Completion, to conduct and prepare an Eleven Month Warranty Punchlist Inspection of existing, deficient work prior to the expiration of the Contractor's Warranty period.

END OF SECTION

(Contractor's "Construction Phase Request For Information" Forms To Follow)
(Contractor's "Construction RFI Tracking Report" Form To Follow)



Contractor's Construction Phase Request for Information

PETCO "Cary, NC"

Petco Job No. 09277 Contractor's RFI # _____

To (Project Architect): Daniel Franco

FAX: 305-412-6731

From (Contractor): _____

FAX: _____

By submitting this Request for Information, the Contractor certifies that the Contractor's superintendent and all involved subcontract trades have thoroughly reviewed the Construction Drawings AND the Project Manual, and the "Field Problem" described in this Request for Information cannot be reconciled without the Architect's Review and Response.

Contractor's Information Request to Architect: Describe "Field Problem" AND Contractor's Proposed Solution

Contractor's Representative: _____ Date/ Time Sent: _____

Contractor's Sketch is Attached Refer to Detail/ Drawing OR Project Manual/ Section: _____

Unless more extensive review is required, the Architect should provide response within 2 working days after receipt of the Contractor's RFI. The Architect will issue a Response (via FAX) to both the Contractor and the PETCO Project Manager.

Architect's Response to Contractor: Architect's sketch attached: SK# _____ Dated: _____

Project Architect (Printed Name/ Initial): _____ Date/ Time Sent: _____

Architect will FAX a copy of this Response to: PETCO Project Manager ClayEarley (FAX: 407-895-4591)

NOTE--The Architect's Response to the Contractor's Request for Information does NOT represent or constitute a directive to proceed with any Changes to the Contract's Scope of Work. The Contractor MUST seek express approval from the PETCO Project Manager if changes in the Contract Sum or Time may result from executing the work according to the Architect's Response.



Contractor's Construction Phase Request for Information

PETCO "Cary, NC"

Petco Job No. 09277 Contractor's RFI #: _____

To (Project Architect): Daniel Franco

e-mail dfranco@sblm.com

From (Contractor): _____

e-mail _____

By submitting this Request for Information, the Contractor certifies that the Contractor's superintendent and all involved subcontract trades have thoroughly reviewed the Construction Drawings AND the Project Manual, and the "Field Problem" described in this Request for Information cannot be reconciled without the Architect's Review and Response.

Contractor's Information Request to Architect: Describe "Field Problem" AND Contractor's Proposed Solution

Type your question here

Contractor's Representative: _____ Date/ Time Sent: _____

Contractor's Sketch is Attached? _____ Refer to Detail/ Drawing OR Project Manual/ Section: _____

Unless more extensive review is required, the Architect should provide response within 2 working days after receipt of the Contractor's RFI. The Architect will issue a Response (via FAX) to both the Contractor and the PETCO Project Manager.

Architect's Response to Contractor: Architect's sketch attached or to follow: SK# _____ Dated: _____

Architect to type response here

Project Architect: _____ Date/ Time Sent: _____

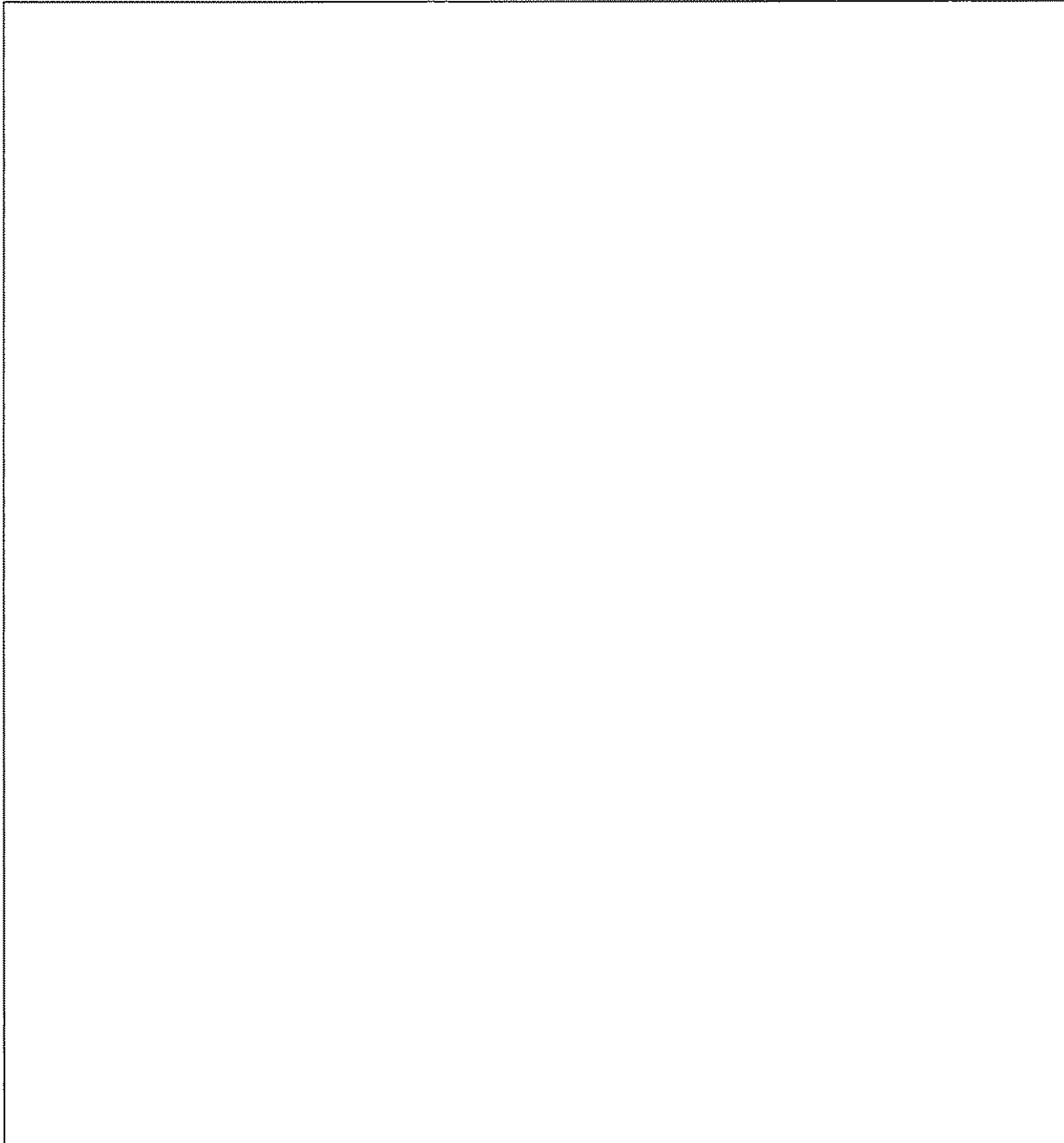
Architect will e-mail the Response (Adobe Acrobat version) to: PETCO Project Manager Clay Early (e-mail: clay_early@petco.com) AND to the Contractor

NOTE--The Architect's Response to the Contractor's Request for Information does NOT represent or constitute a directive to proceed with any Changes to the Contract's Scope of Work. The Contractor MUST seek express approval from the PETCO Project Manager if changes in the Contract Sum or Time may result from executing the work according to the Architect's Response.

PETCO "Cary, NC"
RFI STATUS REPORT

Contractor's Name HERE

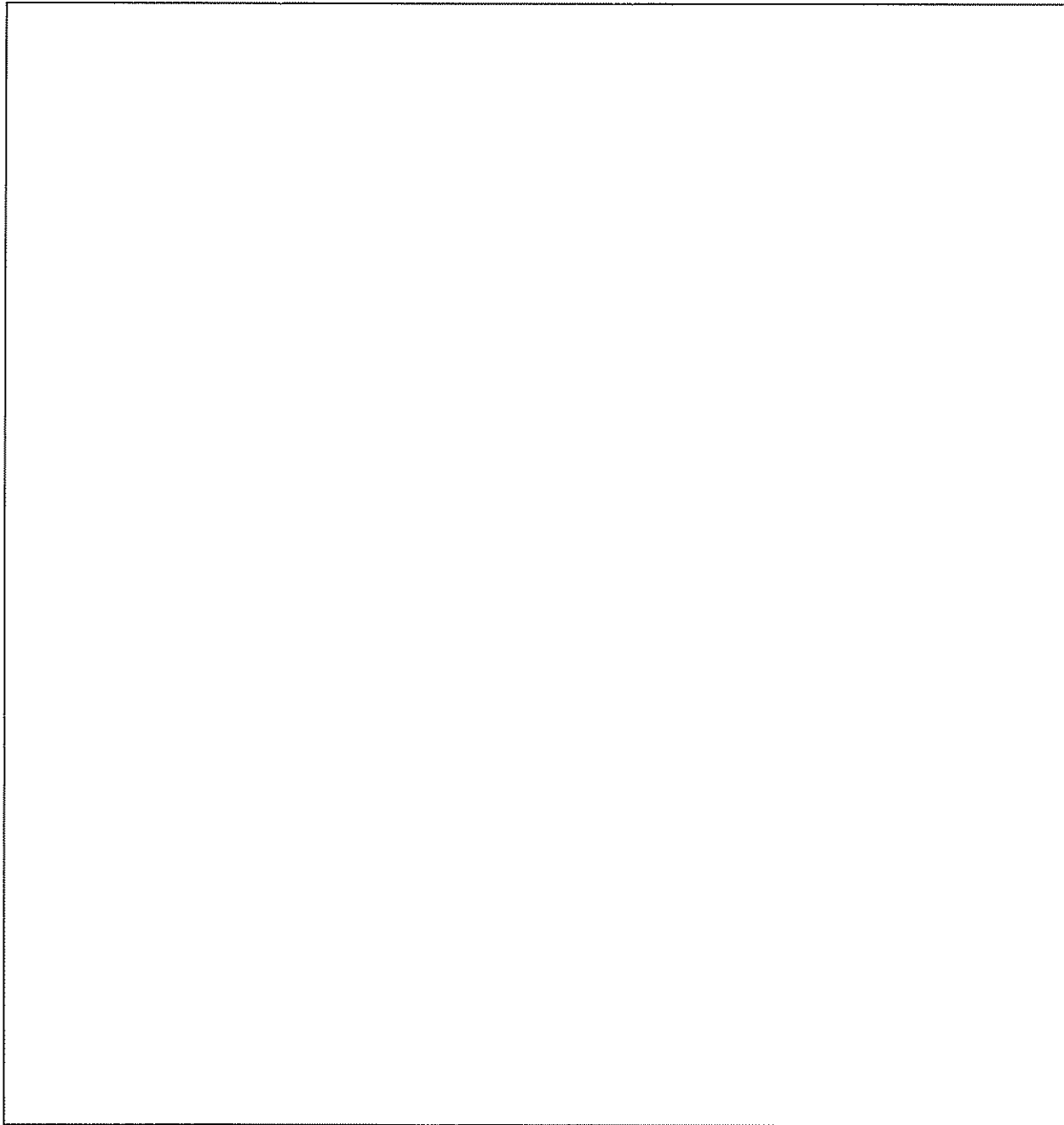
PETCO PM Job No. 09277



PETCO "Cary, NC"
RFI STATUS REPORT

Contractor's Name HERE

PETCO PM Job No. 09277



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